

CITY OF FROSTBURG

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS APPLICATION



DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY HALL

59 E. MAIN STREET, P.O. BOX 440

FROSTBURG, MD 21532

Applicant Name: _____

Applicant's Address: _____

Phone Number(s): _____

Property Owner Name: _____

Property Address and Location: _____

- Type of Change:
- | | | |
|---------------------------------------|-------------------------------------|---------------------------------------|
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Demolition | <input type="checkbox"/> Grading |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Repair | <input type="checkbox"/> Excavation |
| <input type="checkbox"/> New Building | <input type="checkbox"/> Sign | <input type="checkbox"/> Other: _____ |

Work to be performed:

PLANS – Architect, Engineer, or Other: _____

DEMOLITION - Contractor: _____

RENOVATION/CONSTRUCTION – Building Contractor(s): _____

Scope of Work *(describe project in detail, list materials and dimensions):*

Is the property subject to an historic preservation easement?

NO

YES

Is the easement held by a third party organization other than the property owner?

NO

YES

If yes, please provide a copy.

Requirements for Complete Application (TO BE DETERMINED BY STAFF; IF CHECKED INCLUDE AS AN ATTACHMENT):

- SITE PLAN OR ACCURATE SCALED DRAWING DEPICTING PROPORTIONS AND DISTANCES
- CLEAR AND LEGIBLE SKETCH OF EXTERIOR DETAILS OR AREA TO BE CHANGED
- PHOTOGRAPH(S) OF AREA TO BE CHANGED
- MANUFACTURER'S SAMPLES OR TEAR SHEETS OF MATERIAL(S) PROPOSED TO BE USED
- FOR NEW CONSTRUCTION:
 - SITE PLAN TO SCALE
 - ELEVATION DRAWINGS
 - MATERIAL SAMPLES/TEAR SHEETS
 - CURRENT PHOTOGRAPHS OF PROPERTY
- OTHER: _____

Optional Attachments:

- HISTORIC PHOTOGRAPHS OR OTHER DOCUMENTATION

You are encouraged to attend the Frostburg Historic District Commission meeting. The next meeting is _____, at 4:15 pm at the Frostburg Library, 65 E. Main St., Frostburg, Maryland. Failure to provide sufficient information for review may result in an unfavorable recommendation by the Historic District Commission.

PLEASE READ AND SIGN BELOW

I hereby certify that I am the owner of the property or I have advised to owner of the property in regard to the proposed work. Further, the information provided by this application represents an accurate description of the proposed work and nothing has been intentionally omitted that would be necessary for the Historic District Commission's decision making process.

I understand that a favorable review finding by the Frostburg Historic District Commission does not constitute approval of other require land use or building permits obtained by a separate application.

Signature _____

Date _____

FOR CITY USE ONLY

Approval to be granted by: FROSTBURG HISTORIC DISTRICT STAFF

Staff Review: APPROVED NOT APPROVED

Staff Reviewer: _____ Date: _____

SIGNATURE

The Secretary of the Interior's Standards for Rehabilitation

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

Masonry

These guidelines are based on Standards for Rehabilitation written by the National Park Service. The Historic District Commission has adapted the following information with the hope of making the process of review and approval of work on properties located in the Historic District as clear and simple as possible.

Utilization of "Not Recommended" materials and/or techniques will increase the difficulty of approval, may increase the amount of time it takes to get approval of an application, and may ultimately result in the denial of the landowner's application.

The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that damage the building materials should not be undertaken.

Recommended

- Painted masonry surfaces which are to be repainted should be carefully scraped, repainted in necessary areas, primed, and repainted.
- New brick used in an old wall should match old brick in color, size, and texture.
- New bricks inserted into an old wall should be pointed with soft lime mortar.
- New masonry work should match old bonding pattern.
- Duplicating old mortar in composition, color, and texture.
- Repainting only those mortar joints where there is evidence of moisture problems or when sufficient mortar is missing to allow water to stand in the mortar joint.

Not Recommended

- Repainting a masonry building repeatedly without cleaning the subsurface.
- Repointing with mortar of high Portland cement content which can create a bond that is often stronger than the building material. This can cause deterioration as a result of the differing coefficient of expansion and the differing porosity of the material and the mortar.
- Repainting with mortar joints a differing size or joint profile, texture, or color or content.

Recommended

- Cleaning masonry only when necessary to halt deterioration, always use the gentlest method possible, such as low pressure water and soft natural bristle brushes.
- Repairing or replacing, where necessary, deteriorated material with new material that duplicates the old as closely as possible.
- Replacing missing architectural features, such as cornices, brackets, railing and shutters.
- Retaining the original or early color and texture of masonry features, wherever possible. Brick or stone surfaces may have been painted or whitewashed for practical and aesthetic reasons.

Not Recommended

- Sandblasting brick or stone surfaces; this method of cleansing erodes the surface of the material and accelerates deterioration.
- Using chemical cleaning products which could have an adverse chemical reaction with the masonry materials, i.e., acid on limestone or marble.
- Applying new material which is inappropriate or was unavailable when the building was constructed, such as artificial brick siding, artificial cast stone or brick veneer, aluminum or vinyl siding.
- Removing architectural features, such as cornices, brackets, railings, shutters, window trim and doorway pediments.
- Applying waterproof or repellant coatings to masonry. Coatings are frequently unnecessary, expensive and can accelerate deterioration of the masonry.

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

Siding, Trim

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Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event replacement is needed, the new material should match the material being replaced in color, composition, texture, design, and other visual qualities. Repair or replacement of missing features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other sources.

The distinguishing original qualities or character of a structure or site should not be destroyed. The removal or alteration of any historic material or distinctive features should be avoided.

A. Siding

Recommended

- Repairing or replacing wood siding when necessary with siding that duplicates the old in size, shape and texture as closely as possible.
- Retaining and preserving architectural features, such as cornices, brackets, railings, shutters, window trim, and doorway pediments.

Not Recommended

- Resurfacing frame buildings with new material that is inappropriate or was unavailable when the building was constructed, such as, artificial stone, brick veneer, asbestos or asphalt shingles, and vinyl or aluminum siding.
- Removing distinctive architectural features or covering trim.

B. Trim

Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event replacement is needed, the new material should match the material being replaced in color, composition, texture, design, and other visual qualities. Repair or replacement of missing features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other sources.

Distinctive stylistic features or examples of skilled craftsmanship which characterize a building shall be treated with sensitivity.

Recommended

- Retaining original decorative details on porches, cornices, windows, and doors by replacing and repairing existing material.
- Replace missing trim with exact duplication if possible or try to match mass and rhythm of the original.

Not Recommended

- Avoid decorating a building with inappropriate "gingerbread" trim which never existed on the building.
- Avoid "colonializing" any building by adding pedimented doorways, pent roofs, columns, shutters, etc. which never existed on the building and detract from its true architectural style.
- Removing paint and finishes down to the bare surface; strong paint strippers whether chemical or mechanical can permanently damage the surface.

For more information on this topic read:

Preservation Briefs: Aluminum and Vinyl Siding on Historic Buildings by John H. Myers

Preservation Briefs: Exterior Paint Problems on Historic Woodwork by Kay D. Weeks

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

Roofs, Windows, Doors, Entrances

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Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event replacement is needed, the new material should match the material being replaced in color, composition, texture, design, and other visual qualities. Repair or replacement of missing features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other sources.

All buildings should be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance should be discouraged.

Changes which may have taken place in the course of time are evidence of the history and development of a building and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

A. Roofs

Recommended

- Retaining the original roofing material whenever possible and replacing deteriorated roofing with new material that matches the old in composition, size, shape, color, and texture.
- When replacing slate on a slate roof, follow the pattern used as closely as possible.
- Adding dormers, skylights, vents, etc. only when necessary in an appropriate style to the character of the building.
- Preserving the original shape of the roof.

Not Recommended

- Replacing roof material with materials that significantly alter the appearance of the structure.
- Stripping the roof of important architectural features, such as cresting or finials.
- Substantially changing the character of the building by adding dormer windows, skylights, or vents which can detract from the architecture of the building.

B. Windows and Doors

Recommended

- Retaining and repairing original window and door openings including window sash, glass lintels, sills, trim, doors, pediments, steps, and hardware
- Duplicating the material design and the hardware of the older window sash and doors if new sash and doors are used.
- Installing storm windows and doors with painted finish to match surrounding trim. Installing interior storm windows.
- When awnings are needed, install weather proofed canvas type or vinyl.
- Replacing and repairing original shutters which have been removed or damaged.
- Shutters should be able to close and cover window and have enough room to lie flat against building when opened.
- Repairing rather than replacing doors.
- When necessary, replacing existing doors with wood four, six, or eight panel doors or single glass panel doors.

Not Recommended

- Altering the size of the window or door openings.
- Adding new window or door openings to the facade of the building.
- Adding new trim to door or windows where it never existed.
- Installing with mullions not in line.
- Changing the size of the window panes or sash.
- Installing metal or plastic strip awnings.
- Installing shutters around windows and doors where they never existed.
- Installing aluminum or ranch type shutters.
- Painting the surface of the window panes.

C. Entrances, Porches and Steps

Recommended

- Retaining porches or additions reflecting later architectural styles important to the integrity of the building.
- Repairing and replacing when necessary original decorative features.

Not Recommended

- Removing or altering porches or steps appropriate to the building's development and style.
- Removing original material, such as handrails, balusters, columns, and brackets.

For more information on this topic read: *Preservation Briefs: Conserving Energy in Historic Buildings* by Baird M. Smith, AIA *Preservation Briefs: Roofing for Historic Buildings* by Sarah M. Sweetser *Preservation Briefs: The Repair of Historic Wooden Windows* by John H. Myers

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

Landscaping, Walls & Fences

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Utilization of “Not Recommended” materials and/or techniques will increase the difficulty of approval, may increase the amount of time it takes to get approval of an application, and may ultimately result in the denial of the landowner’s application.

Landscaping should be undertaken to beautify a building, highlight special architectural features, for screening unattractive areas from public view, and for creating privacy.

It should be accomplished in such a way that the overall effect harmonizes with the established look of the neighborhood and should complement the architectural style of the building.

A. Landscaping

Recommended

- Planters should be appropriate to the setting of the building.
- Window boxes should be in proportion to the window elements.
- Retaining plants, trees, fencing, walkways, streetlights, signs and benches that reflect the property history and development.
- If changes in site are made they should be carefully evaluated in light of the past appearance.

Not Recommended

- Placing or leaving plant materials or trees in close proximity to a building which may cause deterioration of the building fabric.
- Window boxes should not cover or deface architectural elements.
- Destroying the relationship of buildings and their environment by changes that are incompatible with the character of the neighborhood or site.

B. Walls and Fences

Recommended

- Retaining existing walls or fences which reflect the property's history and development.
- Repairing or replacing, where necessary, deteriorated material that duplicates in size, shape and texture the old as closely as possible.
- Cast iron, picket, straight board, brick walls, and board and batten fences in materials and design with adjacent structures.
- Painting the exterior surface on all wooden fences and gates.

Not Recommended

- Using new construction material that is not harmonious with existing fence or wall material.
- Removing original fencing or walls
- Rustic fences split rail or post and rail design
- Chain links, snow fences, wire mesh fences and concrete block are modern materials not compatible with the character.
- Destroying the relationship of buildings and their environment by changes that are incompatible with the character of the neighborhood or site.

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

New Construction

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Utilization of "Not Recommended" materials and/or techniques will increase the difficulty of approval, may increase the amount of time it takes to get approval of an application, and may ultimately result in the denial of the landowner's application.

Every reasonable effort should be made to provide a compatible use of a property which requires minimal alteration of the structure or site.

Contemporary design for alterations and additions to existing properties will not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property or neighborhood.

Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Recommended

- Using contemporary designs that blend with the architectural design of the area.
- New construction material should blend with existing buildings in type of material, texture and colors used.
- Protecting architectural details and features that contribute to the character of the building.
- New buildings should be constructed within 10% of the average height of surrounding structures.
- Placing television antennae and mechanical equipment, such as air conditioners, in an inconspicuous location.

Recommended

- The width, scale, spacing, and rhythm of new construction should be compatible with adjacent buildings in the area or district.
- Rooflines should be compatible with those of surrounding structures.

Not Recommended

- Introducing new construction that is not compatible with the character of the district or site.
- Designing new work which is incompatible with the earlier building and the site in materials, size, color, scale or texture.
- Imitating an earlier style or period of architecture in new additions, except in rare cases where a contemporary design would detract from the architectural unity of an ensemble or group. Especially avoid imitating an earlier style of architecture in new additions that have a completely contemporary function such as a drive-in bank or garage.
- Adding new height to the building that changes the scale and character of the building. Additions in height should not be visible when viewing the principal facades.

Not Recommended

- Placing television antennae and mechanical equipment, such as air conditioners, where they can be seen from the street.
- Adding new floors or removing existing floors that destroy important architectural details, features and spaces of the building.

CITY OF FROSTBURG REGISTER OF HISTORIC PLACES GUIDELINES

Commercial Buildings

These guidelines are based on Standards for Rehabilitation written by the National Park Service. The Historic District Commission has adapted the following information with the hope of making the process of review and approval of work on properties located in the Historic District as clear and simple as possible.

Utilization of “Not Recommended” materials and/or techniques will increase the difficulty of approval, may increase the amount of time it takes to get approval of an application, and may ultimately result in the denial of the landowner’s application.

A. Store Fronts

Recommended

- Identifying, retaining, and preserving storefronts and their functional and decorative features that are important in defining the overall historic character of the building such as, display windows, signs, doors, transoms, kick plates, corner posts, and entablatures.
- Protecting and maintaining masonry, wood, and architectural metals which comprise storefronts through appropriate treatments, such as cleaning, rust removal, and reapplication of protective coating systems.

Not Recommended

- Removing or radically changing storefronts and their features which are important in defining the overall historic character of the building.
- Changing the storefront's main entrance.
- Stripping storefronts of historical material.
- Changing the storefront so that it appears residential rather than commercial in character.
- Bringing recessed entryways flush to the sidewalk, in order to modernize the look of the building. This will destroy the historic integrity of the building.
- Modifying the size of the original window openings.
- Filling transoms in with wood or brick.
- Adding new height to the building that changes the scale and character of the building. Additions in height should not be visible when viewing the principal facades.

C. Signage

Recommended

- Preserving historic signage which greatly contributes to the character of a commercial historic district. Typical historic signage includes: Painted façades and fascia signs; material inlaid into the building's façade, such as brick or enamel; Hanging signs and older neon signs; and goldleaf or gilded lettering in storefront windows.
- New signage on historic buildings can be appropriate if the signage compliments the historical integrity of the original building.
- Locating projecting signs along the first floor level of the façade. Positions near the building entrance are encouraged.

Not Recommended

- Obscuring original signs or applying new signs that disrupt the historic character of the building.
- Applying signage to the historic building in a manner that would cause physical damage or a loss of historic integrity.
- Back lighting of signs.

D. Cornices

Recommended

- Retaining and preserving the original cornice features and materials that are important in defining the overall historic character of the building.
- Incorporating original materials in any repairs whenever possible.
- Referring to historic photographs of the building in order to maintain the original design of the cornice or parapet.

Not Recommended

- Removing or radically changing a cornice and its features which are important in defining the historic character of the building.
- Covering any cornice or parapet with modern signage or a false façade.
- Removing any original cornice or parapet, as this will destroy the historic integrity of the building.
- Replacing a damaged cornice or parapet with inappropriate materials that distract from the building's historic character.



Subject: Incorporating Solar Panels in a Rehabilitation Project

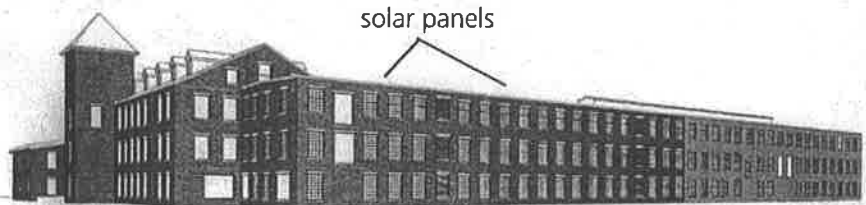
Applicable Standards: 2. Retention of Historic Character
9. Compatible Additions/Exterior Alterations

Issue: Enhancing the energy efficiency of a historic building is important. To that end, it is often possible to install features such as solar panels and photovoltaic cells provided they are installed in a sensitive manner. Because these elements must be positioned to take advantage of unobstructed sunlight, the roof of a historic structure is an obvious location. The roofline of a historic building is often a distinctive feature. Therefore, the installation of solar panels should conform to guidance regarding rooftop additions, i.e. that they be minimally visible, to avoid altering the historic character of the building. Historic buildings with a flat roof or parapet can usually accommodate solar panels because the panels will be hidden, while properties with a hipped or gabled roof are generally not good candidates for a rooftop solar installation. Solar panels on historic buildings should not be visible from the public right of way such as nearby streets, sidewalks or other public spaces.

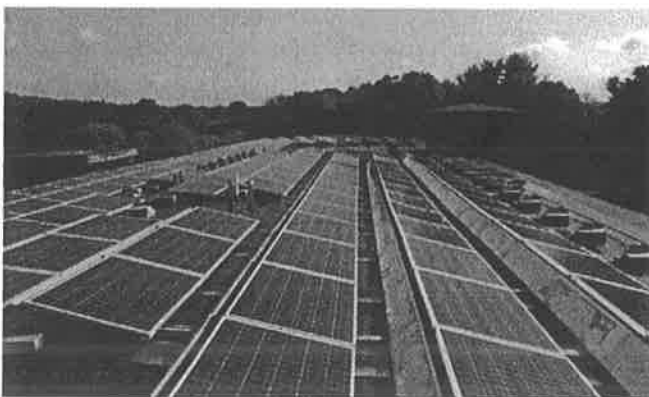
In circumstances where solar collectors are not placed on rooftops, they should only be positioned in limited or no-visibility locations in secondary areas of the property. Vegetation or a compatible screen may also be an option to further reduce the impact of these features on a historic property. For some historic buildings, it may not be possible to incorporate solar panels and meet the Secretary of the Interior's Standards for Rehabilitation.

Application 1 (*Compatible treatment*):

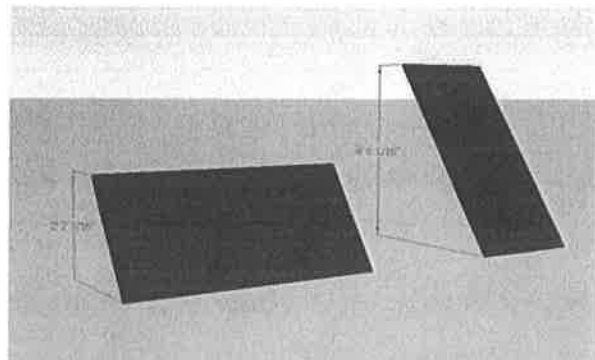
The rehabilitation of this mid-nineteenth century mill incorporated a large, roof-mounted photovoltaic installation. Although the historic building does not have a parapet wall at the roofline, the height of the building and the arrangement of the panels render the entire installation invisible from the ground. It is important to note that the panels are placed horizontally. Had the panels been installed with a vertical tilt, the angle required to maximize efficiency would have caused the panels to extend significantly higher above the roof. Simply changing the direction in which the panels are tilted can affect their visibility and reduce their impact on the character of the historic property.



Because of the size of this historic mill, a large array of solar panels could be installed on the flat roof without being seen from the ground.



Solar panels installed on the flat roof.



By placing the panels horizontally, the overall height of the installation and its visibility is reduced.

Application 2 (*Incompatible treatment*): During the rehabilitation of this late-nineteenth century commercial building, a conspicuous rooftop monitor with prominent solar panels and skylights was constructed on the one-story structure. The size and finish of this rooftop addition are incompatible with the historic character of the building. However, the building could have accommodated both skylights and solar panels if they had been installed differently. An alternative design that could have met the Standards would have included low-profile skylights and solar panels concealed behind the parapet wall.

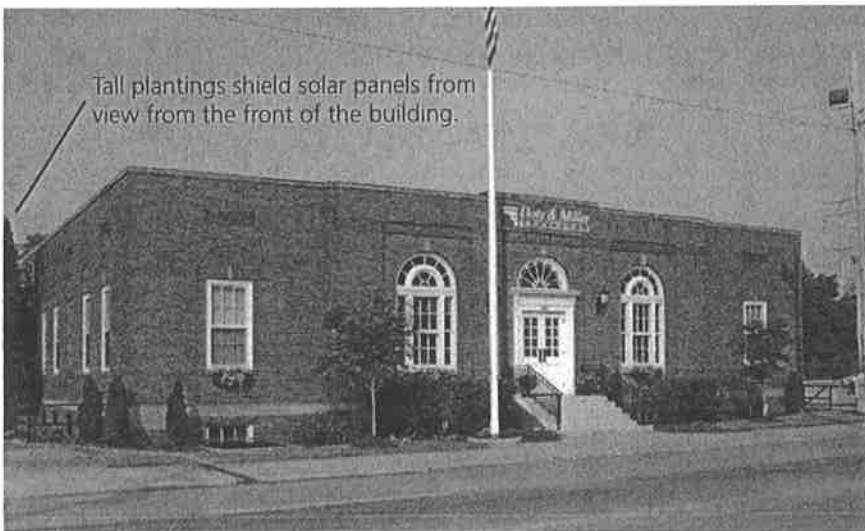


The addition of a large rooftop monitor featuring skylights on the front slope and solar panels on the rear slope is not compatible with the historic character of this small, one-story commercial building.

Application 3 (*Compatible treatment*): The rehabilitation of this historic post office incorporated solar panels as dual-function features: generation of electricity and shading for south-facing windows. In this instance, the southern elevation of the building is also a secondary elevation with limited visibility from the public right of way. Additionally, because this area of the building is immediately next to the post office's loading dock, it has a more utilitarian character than the primary facades and, therefore, can better accommodate solar panels. Because the panels are in a suitable location at the rear of the property and are appropriately sized to serve as awnings, they do not affect the overall historic character of the property. Additionally, a screen of tall plantings shields the solar panels from view from the front of the building, further limiting their visibility.



Above: Shown from the rear of the property, these solar panels serve a secondary function as awnings to shade south-facing windows. Because of their location at the back of the building immediately adjacent to a loading dock, the installation of these panels does not affect the historic character of the property.



Left: The solar panels are not visible from the front of the building. Additionally, even if the vegetation were removed, the installation would only be minimally visible along an alley at the rear of a secondary side elevation.

Jenny Parker, Technical Preservation Services, National Park Service

These bulletins are issued to explain preservation project decisions made by the U.S. Department of the Interior. The resulting determinations, based on the **Secretary of the Interior's Standards for Rehabilitation**, are not necessarily applicable beyond the unique facts and circumstances of each particular case.

August 2009, ITS Number 52

RESIDENTIAL BUILDING ENERGY EFFICIENCY DIAGRAM

This diagram summarizes the principal guidelines for energy efficiency and energy collection that appear in this document. These measures will enhance energy efficiency while retaining the integrity of the historic structure.

Chimney

- Install draft stopper

Attic

- Insulate internally

Walls

- Insulate internally

Roof Material

- Retain & repair

Solar Panels

- Set back from primary facade



Doors

- Retain & repair original doors
- Weatherstrip

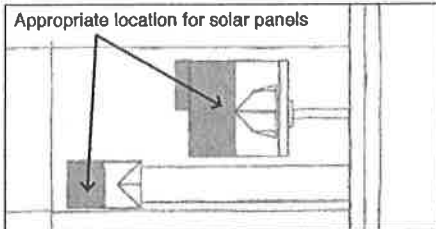
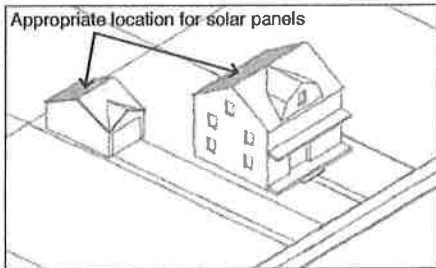
Shutters, Awnings & Porches

- Restore porches and awnings

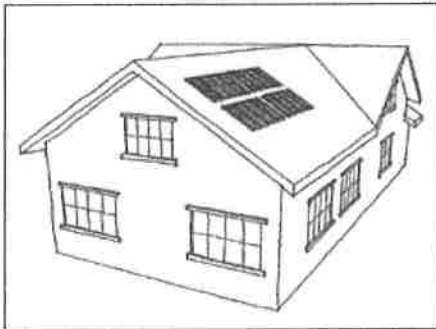
Windows

- Repair & retain original or early windows
- Retain original glass
- Enhance thermal & acoustic efficiency with storm windows (preferable interior)
- Weatherstrip

While Historic District Commissioners should not be expected to evaluate energy efficiency calculations, it is reasonable to ask a property owner to demonstrate that they have conducted an energy audit and developed an overall strategy before undertaking specific projects such as window improvements. This diagram summarizes some of the basic actions related to the exterior of a house. Other, often highly beneficial, work will be internal.



Guideline 9.1: Solar panels should be located to the side or rear roof planes or on a secondary structure (all gray surfaces).



Guideline 9.1: Solar panels should be mounted flush with the roof.

9.0 SOLAR PANELS

Solar panels should be located in unobtrusive places. If it is necessary to mount solar panels on a historic building, rather than elsewhere on the site, it is essential that the panels are installed such that they do not change the character of the building. If solar panels are placed on a roof they should be designed and positioned to have a minimal effect on the character of the structure. Placement on rear facing roof planes of the primary structure should be considered first.

Design Objective

Solar panels should not adversely affect the historic character of the structure to which they are being added.

9.1 Reduce the visual impacts of solar panels as seen from the public right-of-way.

- Locate the solar panels away from public view when feasible.
- Solar panels should be mounted apart from the building or on secondary structures, such as a shed or garage, when feasible.
- Solar panels should be located on new construction, such as a new wing, where possible.
- Locate an attached solar panel in a manner such that it does not affect the primary roof facade elevations.
- Location on a primary or street facing roof plane is generally inappropriate.
- Where roof mounted, solar panels should be flush to the extent feasible.
- If not attached to the building, collectors should be located in side or rear yards. Exposed hardware, frames and piping should have a matte finish, and be consistent with the color scheme of the primary structure.
- Panels not attached to the building should be screened by landscaping to reduce their visibility. However, screening may diminish the effectiveness of the collectors to receive sunlight.
- Alternative technologies, such as photovoltaic shingles, may be appropriate in certain circumstances.

CITY OF FROSTBURG

BUILDING PERMIT APPLICATION



DEPARTMENT OF COMMUNITY DEVELOPMENT

CITY HALL

59 E. MAIN STREET, P.O. BOX 440

FROSTBURG, MARYLAND 21532

Applicant Information

Name: _____ Phone: _____

Address: _____ City/St/Zip: _____

Property Owner Information

Name: _____ Phone: _____

Address: _____ City/St/Zip: _____

Builder/Contractor Information *If property owner, State of Maryland Affirmation of Landowner MUST be attached*

Name: _____ Phone: _____

Address: _____ City/St/Zip: _____

MHBR No: _____ MHIC No: _____

Project Information

Project Address or Location: _____

Primary Structure Accessory Structure | Building Use: _____

Description: _____

Dimensions: _____ Square footage: _____ Height: _____

Area Disturbed: _____ No. of Units: _____ No. of Stories: _____

No. of Rooms: _____ No. of Bathrooms: _____ No. of Bedrooms: _____ Basement: Y / N

Water Sewer Electric | Estimated Value: \$ _____ for Allegany County Assessment Office use

Setback Information

Front: _____ Rear: _____ Left: _____ Right: _____ Other: _____

Setback from Alley: _____ Stream/Drainway: _____ Buildings: _____

Other Setback Information: _____ Corner Lot

Property Information *Attach Maryland Real Property Search data sheet to complete application*

Map: _____ Parcel: _____ Lot: _____ Tax Account ID: _____

Lot Size: _____ Zoning District: _____ Election District: _____ Historic District: Y / N FEMA Zone: _____

Subdivision Name: _____ Plat No.: _____

Comments:

TO BE COMPLETED BY CITY

Board of Zoning Appeals Information

BOZA Case No.: _____

Submission Date: _____

Hearing Date: _____

Case Name: _____

Subject: _____

Type: Special Exception Variance Administrative Error Other: _____

BOZA Decision: APPROVED DENIED Date: _____

Approval Checklist

Check if Required	Approval Agencies	Approval Date	Approved by
<input type="checkbox"/> PLAN REVIEW	City/MEGCO Inspections		
<input type="checkbox"/> SEDIMENT & EROSION CONTROL	Allegany Soil Conservation District		
<input type="checkbox"/> UTILITIES/STREETS	City Public Works Dept.		
<input type="checkbox"/> PLANNING	Frostburg Planning Commission		
<input type="checkbox"/> STORMWATER	City/ACSD		
<input type="checkbox"/> SUBDIVISION	City		
<input type="checkbox"/> ADA	City		
<input type="checkbox"/> FIRE MARSHAL	Md. State Fire Marshal		
<input type="checkbox"/> FOOD SERVICE	Allegany Co. Health Dept.		

Building Inspection Checklist

Check if Required	Approval Date	Approved by
<input type="checkbox"/> FOOTING		
<input type="checkbox"/> FOUNDATION		
<input type="checkbox"/> FRAMING		
<input type="checkbox"/> ELECTRIC SERVICE		
<input type="checkbox"/> PLUMBING/SPRINKLER SERVICE		
<input type="checkbox"/> ELECTRIC ROUGH-IN		
<input type="checkbox"/> PLUMBING ROUGH-IN		
<input type="checkbox"/> SPRINKLER ROUGH-IN		
<input type="checkbox"/> ELECTRIC FINAL		
<input type="checkbox"/> PLUMBING FINAL		
<input type="checkbox"/> SPRINKLER FINAL		
<input type="checkbox"/> INSULATION/CLOSE-IN		
<input type="checkbox"/> FINAL/OCCUPANCY		

Fees:

Application Fee: \$ _____

Permit Fee: \$ _____

Water Tap Fee: \$ _____

Water Meter: \$ _____

Sewer Tap Fee: \$ _____

Plan Review Fee: \$ _____

Inspection/Codes Fee: \$ _____

SWM Review Fee: \$ _____

Other: \$ _____

Total: \$ _____

Date Fees Paid: _____

Payment Method: Check Cash

Check #'s: _____

I hereby agree to comply with all regulations and codes which are applicable hereto, and further agree than any misstatement or misrepresentation of the facts presented as part of this application or change to proposal without approval of the agencies concerned, shall constitute sufficient grounds for the disapproval or revocation of the subject permit. It is my responsibility to relocate any and all utilities that may be located upon the proposed construction site at my expense. No roof, sump, or surface drains are to be connected to the sanitary sewer system.

Applicant Signature: _____ Date: _____

FOR CITY USE ONLY

Application Date: _____ Taken by: _____ Status: _____

Permit Issue Date: _____ Issued by: _____

Certificate of Occupancy Issue Date: _____

PERMIT NO. _____

CITY OF FROSTBURG

PLAN REVIEW REQUIREMENTS



DEPARTMENT OF COMMUNITY DEVELOPMENT
CITY HALL
59 E. MAIN STREET, P.O. BOX 440
FROSTBURG, MD 21532

All plans must include the items listed below; plans without the required information will be returned and charged a processing fee. All construction must meet or exceed Maryland Building performance standards. Release of construction documents does not relieve the contractor of this responsibility.

Residential Dwellings and Additions

- Owners name and address
- Preparers name and phone number
- Fire separation envelope between garage and dwelling if applicable (walls, ceiling, and interior doors)
- Room sizes
- Window sizes
- Foundation type and size
- Elevation drawing showing height of unbalanced fill
- Res-check compliance certificate
- Handrail and guardrail type and height on stairs with more than three risers and precipices over thirty inches.
- Nominal Wall Framing thickness of weight bearing walls
- Beam and girder sizes for center beams and structural support (provide design if engineered lumber is used)
- Size of electric service
- Indicate all areas to be unfinished (attic, basements, bonus rooms, decks, etc.)
- Fire separation including UL listing between adjacent units for duplexes and townhomes (may require professional design)

Decks and Porches (for decks over 30 inches above grade or more than three risers on stairs)

2 inspections required (footer and final)

- Type of attachment to dwelling
- Height
- Guardrail and handrail type and height

Retaining Walls (if over 30 inches above grade or retain a parking area)

3 inspections required (footer, lateral support prior to backfill and final)

- Maximum height above grade
- Type of lateral reinforcement (must have professional design if wall is over 48 in high)
- Type of fall protection if over 30 inches above grade

Solar Photovoltaic

- Pictures showing how the system will be supported. Pictures of trusses to make sure it can support the weight.
- System must conform to the National Electric Code Section 690 – Solar Voltaic Systems and Article 705 – Interconnected Power Supply Systems.
- All equipment must be listed with the use of photo voltaic systems (i.e. UL or CTL).

- All commercial plans require a professional design and fire marshal review if applicable -