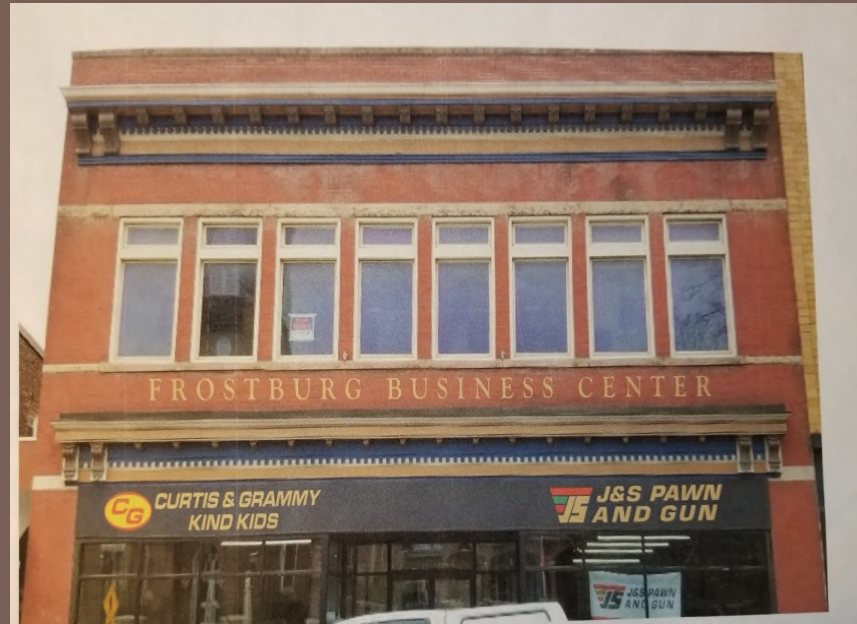


SIGNAGE IN HISTORIC DISTRICTS



Frostburg, Maryland

- L.J. Bennett- Community Development Director for the City of Frostburg.
- Staff support for the Historic District Commission.
- Community Development supports the HDC application, meeting, presentation, and approval process.
- Oversees the permitting of signs for the city.

Unique Issues in Historic District Signage Regulations

- Electronic Message Centers
- Lighting
- Height
- Brick and Mortar
- Color



Secretary of the Interior Standards for Rehabilitation – Related to Signage

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property.

Sample Local Guidelines – Related to Signage

Recommended

- Preserving historic signage which greatly contributes to the character of a commercial historic district. Typical historic signage includes: Painted façades and fascia signs; material inlaid into the building's façade, such as brick or enamel; Hanging signs and older neon signs; and goldleaf or gilded lettering in storefront windows.
- New signage on historic buildings can be appropriate if the signage compliments the historical integrity of the original building.
- Locating projecting signs along the first floor level of the façade. Positions near the building entrance are encouraged.

Not Recommended

- Obscuring original signs or applying new signs that disrupt the historic character of the building.
- Applying signage to the historic building in a manner that would cause physical damage or a loss of historic integrity.
- Back lighting of signs.

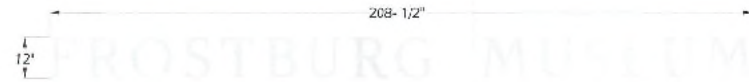
Changeable Copy and Gooseneck Lighting



Painted Sign Band and Gooseneck Lighting



Brick and Mortar Inlaid Lettering



Formed Acrylic Letters
 12" h letters
 1- 1/4" thick
 Prismatic Face
 Standard Metallic Silver Acrylic (8886)
 Font: Architectural

Approved by: _____
 Printed: _____
 Title: _____
 Date: _____

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DESIGN
 BUILD
 INSTALL
 REPAIR



Technical Preservation Services – Preservation Briefs

- Preservation Brief 2 – Repointing Mortar Joints in Historic Masonry Buildings
- Properties of Mortar
- Mortar Analysis
- <https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Sign Height

Sample Zoning Ordinance Regulations

Other Wall Signs. The following additional wall signs may be permitted:

Projection signs are permitted, in addition to the allowances for wall signs when designed and placed for the purpose of identifying the business for a pedestrian walking along the same side of the street as the business they seek or under a continuous rain canopy projecting from the building. Projection signs shall have a maximum area of five (5) square feet; the bottom of the sign shall be a minimum of eight (8) feet above the sidewalk; the sign shall not project more than three (3) feet from the wall of the building in which the sign is placed; and adjacent projecting signs shall not be closer than fifteen (15) feet.

Projection Signs



Color

Sample Zoning Ordinance Historic Overlay Guidance

- The Commission may not stipulate colors, but colors shall be chosen from a manufacturer's collection of historic colors, or be a palette approved by the Commission. Use of bright, metallic, or other non-historic colors is generally not acceptable.

Historic Palettes



Resources

- <https://www.nps.gov/subjects/historicpreservation/standards.htm>
- <https://www.nps.gov/tps/>
- <https://www.nps.gov/subjects/nationalregister/index.htm>
- Your Local Zoning Ordinance/Historic Preservation Overlays
- L.J. Bennett, Community Development Director, 301-689-6000, X 105, lbennett@frostburgcity.org

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